

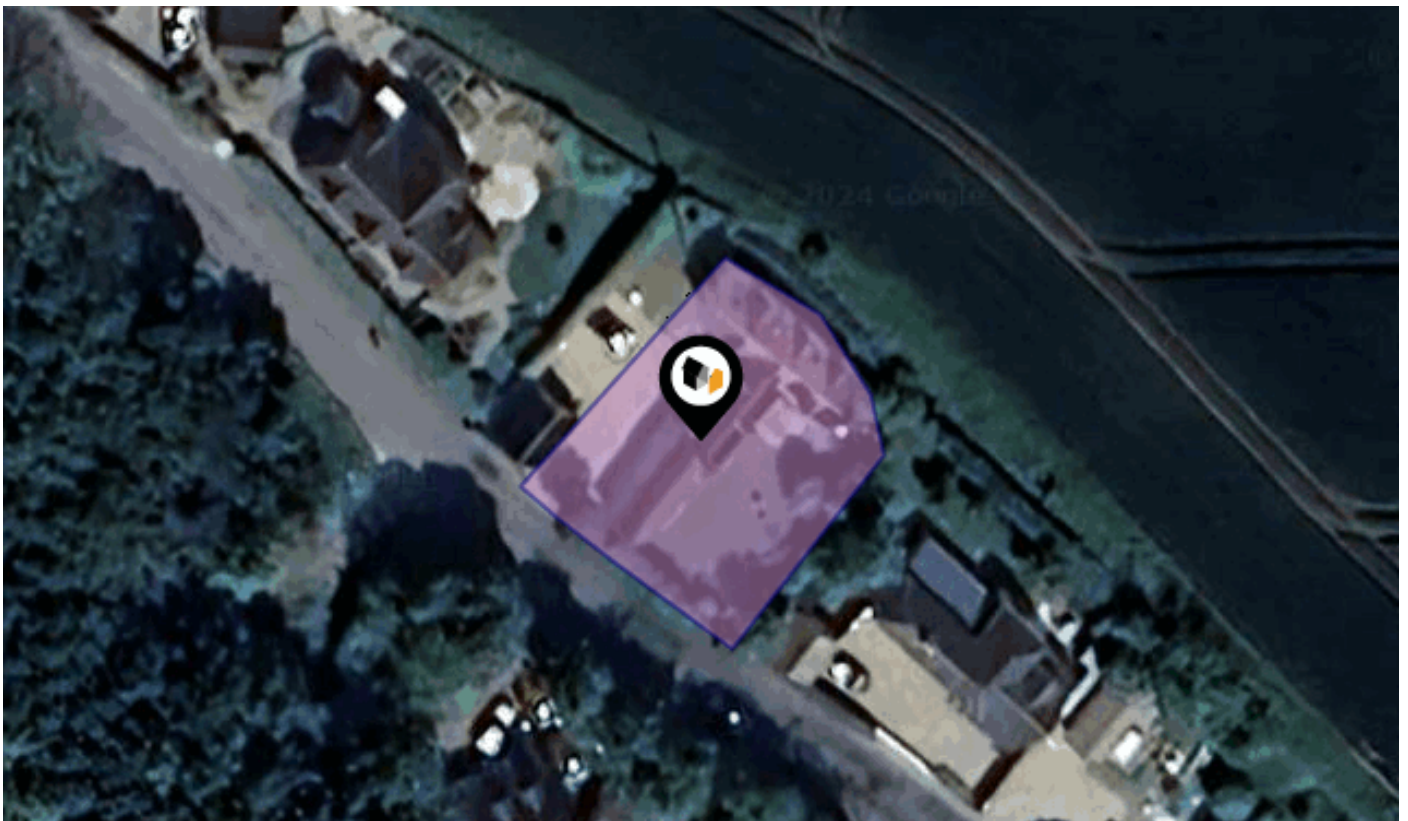


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MIR: Material Info

The Material Information Affecting this Property

Wednesday 25th September 2024



THE COMMON, WEST WRATTING, CAMBRIDGE, CB21

Cooke Curtis & Co

40 High Street Trumpington Cambridge CB2 9LS

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www.cookecurtis.co.uk





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Property

Type:	Detached	Tenure:	Freehold
Bedrooms:	4		
Floor Area:	2,034 ft ² / 189 m ²		
Plot Area:	0.13 acres		
Year Built :	Before 1900		
Council Tax :	Band F		
Annual Estimate:	£3,328		
Title Number:	CB390589		

Local Area

Local Authority:	South cambridgeshire	Estimated Broadband Speeds	
Conservation Area:	No	(Standard - Superfast - Ultrafast)	
Flood Risk:		12	1000
● Rivers & Seas	No Risk	mb/s	mb/s
● Surface Water	Very Low		

Mobile Coverage:	Satellite/Fibre TV Availability:		
(based on calls indoors)			
			
			
			

Planning records for: *The Common, West Wratting, Cambridge, CB21*

Reference - S/0513/15/FL	
Decision:	Decided
Date:	28th February 2015
Description:	2 Storey Side Extension

Reference - S/2760/15/FL	
Decision:	Decided
Date:	22nd October 2015
Description:	Two storey extension providing Utility room and Bedroom (amendment to S/0513/15/FL)

Reference - S/3068/16/FL	
Decision:	Decided
Date:	08th November 2016
Description:	Double Storey Extension (Amendment to S/0513/15/FL)

Planning records for: **17 The Common WEST WRATTING CB21 5LR**

Reference - S/4173/17/FL	
Decision:	Decided
Date:	01st December 2017
Description:	Two-storey side and rear extension and internal alterations to existing dwelling house.

Reference - S/1005/18/FL	
Decision:	Decided
Date:	21st March 2018
Description:	One and a half storey rear and side extensions and internal alterations to existing dwelling

Planning records for: **21 The Common West Wratting Cambridgeshire CB21 5LR**

Reference - 23/01934/HFUL	
Decision:	Decided
Date:	19th May 2023
Description:	Rear pitched roof extension over rear flat roof, new bathroom installation in existing attic, create new glazed door opening to rear, ground sited solar panel installation, air source heat pump installation, relocate entrance gates to create car pull-off from road.

Reference - S/0908/19/DC	
Decision:	-
Date:	07th March 2019
Description:	Discharge of condition 4 (underfloor heating) of Listed Building consent S/2357/18/LB for underpinning, excavation of contaminated soils. Underfloor heating and sub-floor pipework and redecoration.

Planning records for: **21 The Common West Wratting Cambridgeshire CB21 5LR**

Reference - 23/01935/LBC	
Decision:	Decided
Date:	19th May 2023
Description:	Rear pitched roof extension over rear flat roof, new bathroom installation in existing attic, create new glazed door opening to rear, ground sited solar panel installation, air source heat pump installation, relocate entrance gates to create car pull-off from road.

Reference - S/2357/18/LB	
Decision:	Decided
Date:	03rd July 2018
Description:	Underpinning excavation of contaminated soils. Underfloor heating and sub-floor pipework and redecoration.

Planning records for: **29 The Common West Wratting Cambridgeshire CB21 5LR**

Reference - 22/01748/HFUL	
Decision:	Decided
Date:	13th April 2022
Description:	Single storey front extension

Reference - 23/00138/S73	
Decision:	Decided
Date:	13th January 2023
Description:	S73 to vary condition 2 (drawings) to show the new access and remove condition 3 to allow for the use of the annex as a holiday let of ref: 22/01756/FUL (Conversion of existing detached double garage into residential).

Planning records for: **29 The Common West Wratting Cambridge Cambridgeshire CB21 5LR**

Reference - S/0524/16/FL	
Decision:	Decided
Date:	24th February 2016
Description:	New access gate and wall

Reference - S/1414/16/FL	
Decision:	Decided
Date:	26th May 2016
Description:	New access gate and gate posts

Planning records for: **33 The Common West Wratting Cambridge Cambridgeshire CB21 5LR**

Reference - S/0748/15/FL	
Decision:	Decided
Date:	23rd March 2015
Description:	Two storey rear extension and replacement of rear lean to extension with new construction

Planning records for: **35 The Common West Wratting Cambridge Cambridgeshire CB21 5LR**

Reference - S/2020/16/FL	
Decision:	Decided
Date:	04th August 2016
Description:	Single Storey Side Extension Two Storey Side Extension First Floor Side Extension Raising of Roof & Front Porch.

Planning records for: **College House 55 The Common West Wratting Cambridge Cambridgeshire CB21 5LR**

Reference - S/1066/12/LD	
Decision:	Decided
Date:	18th May 2012
Description:	Application for a Certificate of Lawful Existing Use or Development for the occupation of the property in breach of Condition 2 of Planning Permission SC/72/1103 (Restricted Occupancy).

Planning records for: **59 The Common West Wratting Cambridgeshire CB21 5LR**

Reference - 21/02624/CONDD	
Decision:	Decided
Date:	12th September 2023
Description:	Submission of details required by Conditon 4 Drainage Strategy of planning permission 21/02624/FUL

Reference - 23/03499/HFUL	
Decision:	Decided
Date:	12th September 2023
Description:	Two storey side extensions to each side, single storey extension to side of link

Planning records for: **Randswood Farmhouse 18 The Common West Wratting Cambridge Cambridgeshire CB21 5LR**

Reference - S/2163/11	
Decision:	Decided
Date:	09th November 2011
Description:	Installation of Photo Voltaic Solar Panel System to existing Barn roof.

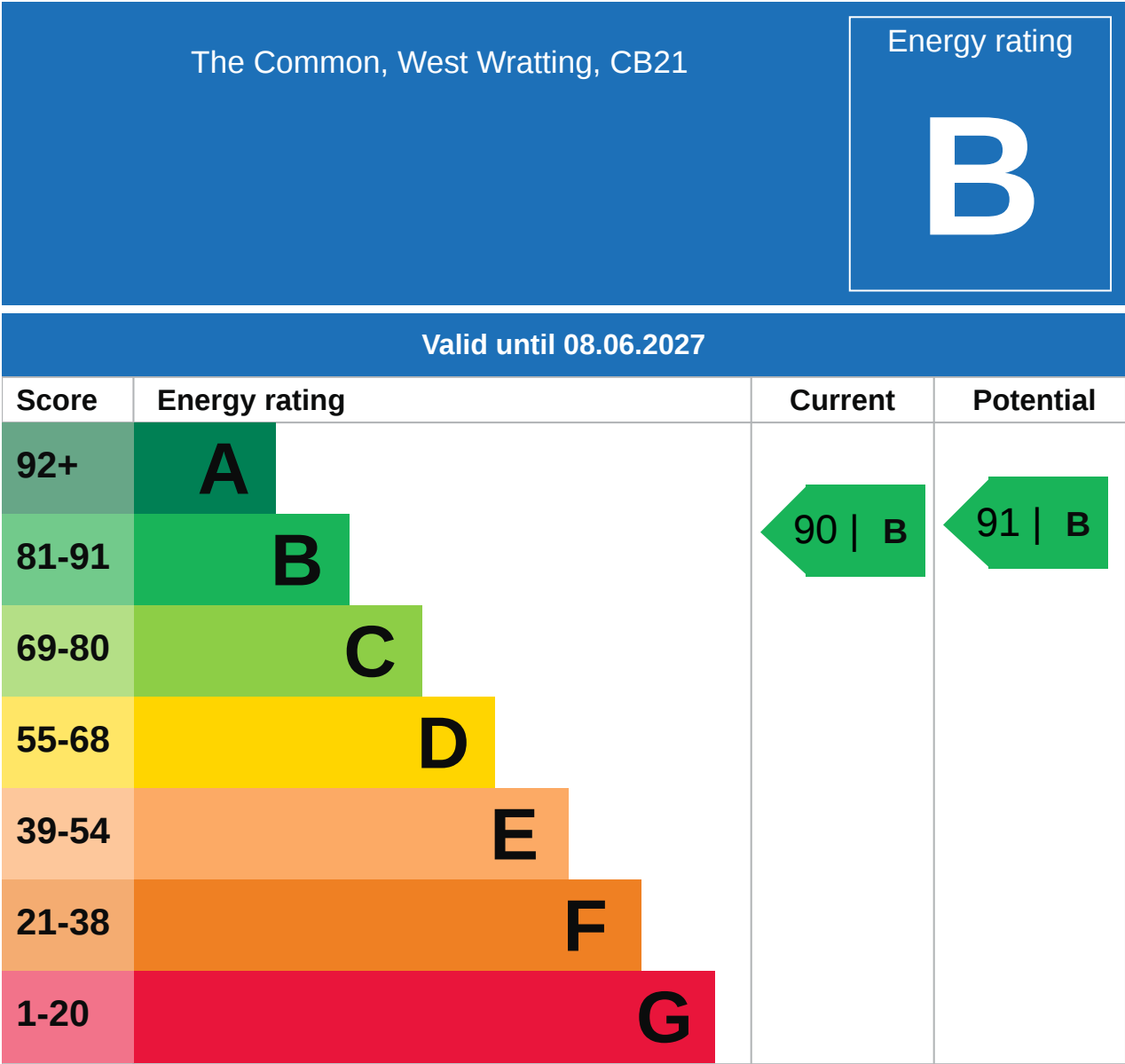
Planning records for: ***Randswood Farmhouse 18 The Common West Wratting Cambridge Cambridgeshire CB21 5LR***

Reference - S/0726/12/FL	
Decision:	Decided
Date:	20th April 2012
Description:	Erection of Extensions following Demolition of Existing Extensions and Outbuildings and Change of Use from Agricultural Land to Garden Land

Planning records for: ***12 The Common West Wratting CB21 5LR***

Reference - 21/05680/REM	
Decision:	Decided
Date:	30th December 2021
Description:	Reserved matters application for access, appearance, landscaping, layout and scale pursuant to outline application ref 21/00488/OUT.

Reference - S/2497/17/FL	
Decision:	Decided
Date:	17th July 2017
Description:	Proposed replacement of stables with outbuilding



Additional EPC Data

Property Type:	House
Build Form:	Detached
Transaction Type:	Marketed sale
Energy Tariff:	Single
Main Fuel:	Electricity (not community)
Main Gas:	No
Flat Top Storey:	No
Top Storey:	0
Glazing Type:	Double glazing installed during or after 2002
Previous Extension:	3
Open Fireplace:	0
Ventilation:	Natural
Walls:	Timber frame, with additional insulation
Walls Energy:	Good
Roof:	Thatched, with additional insulation
Roof Energy:	Very Good
Main Heating:	Air source heat pump, underfloor, electric
Main Heating Controls:	Time and temperature zone control
Hot Water System:	From main system
Hot Water Energy Efficiency:	Very Poor
Lighting:	Low energy lighting in 50% of fixed outlets
Floors:	Solid, insulated
Total Floor Area:	189 m ²

Electricity Supply

So Energy

Central Heating

Air source heat pump - underfloor heating throughout

Water Supply

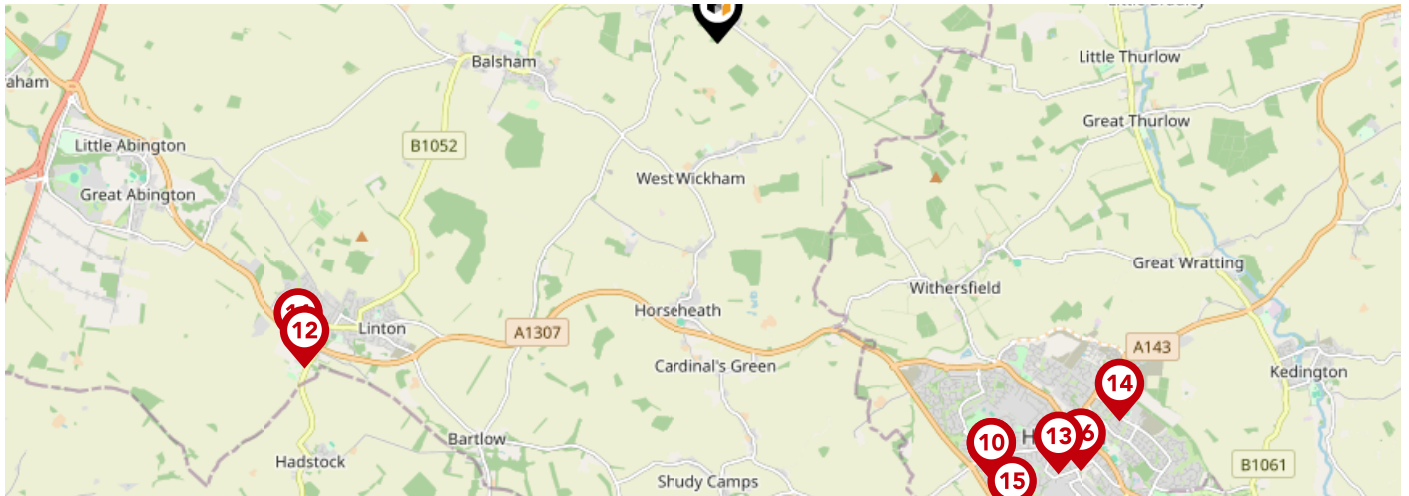
Cambridge Water









Drainage

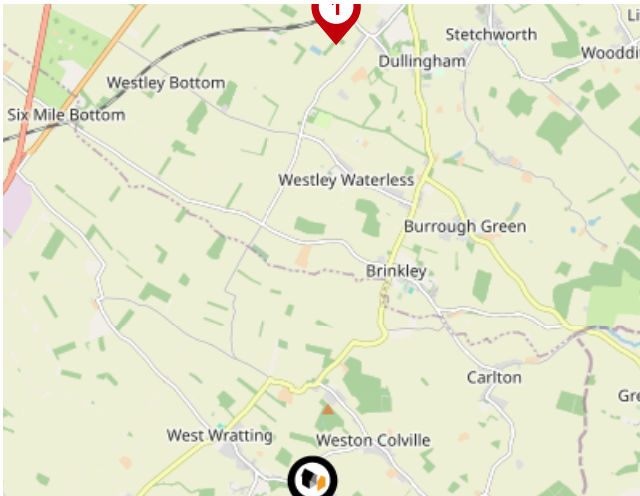
Anglian Water



		Nursery	Primary	Secondary	College	Private
	Meadow Primary School Ofsted Rating: Good Pupils: 212 Distance:1.93	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Thurlow Voluntary Controlled Primary School Ofsted Rating: Good Pupils: 66 Distance:3.76	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Linton Heights Junior School Ofsted Rating: Good Pupils: 249 Distance:4.09	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Kettlefields Primary School Ofsted Rating: Good Pupils: 126 Distance:4.13	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Glebe House Ofsted Rating: Good Pupils:0 Distance:4.51	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Linton CofE Infant School Ofsted Rating: Good Pupils: 149 Distance:4.58	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	New Cangle Community Primary School Ofsted Rating: Good Pupils: 207 Distance:4.63	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Castle Manor Academy Ofsted Rating: Good Pupils: 751 Distance:4.67	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

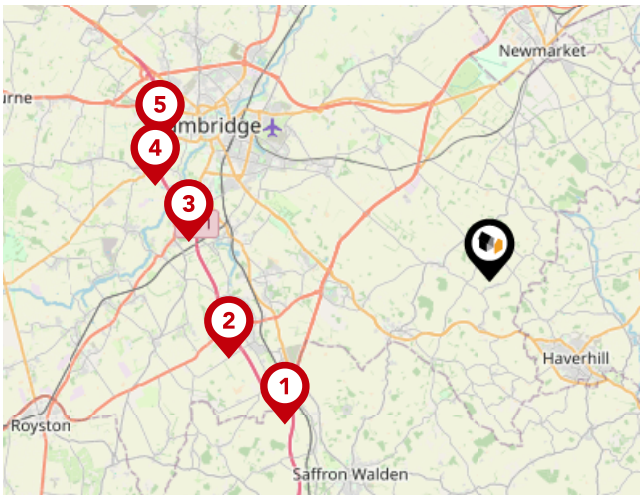


		Nursery	Primary	Secondary	College	Private
	Burton End Primary Academy Ofsted Rating: Good Pupils: 454 Distance:4.69	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	St Felix Roman Catholic Primary School, Haverhill Ofsted Rating: Serious Weaknesses Pupils: 236 Distance:4.69	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Linton Village College Ofsted Rating: Good Pupils: 833 Distance:4.73	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Granta School Ofsted Rating: Requires improvement Pupils: 175 Distance:4.79	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Place Farm Primary Academy Ofsted Rating: Good Pupils: 410 Distance:5	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Samuel Ward Academy Ofsted Rating: Good Pupils: 1176 Distance:5.03	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Clements Primary Academy Ofsted Rating: Good Pupils: 263 Distance:5.1	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Broadlands Hall Ofsted Rating: Good Pupils: 37 Distance:5.1	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



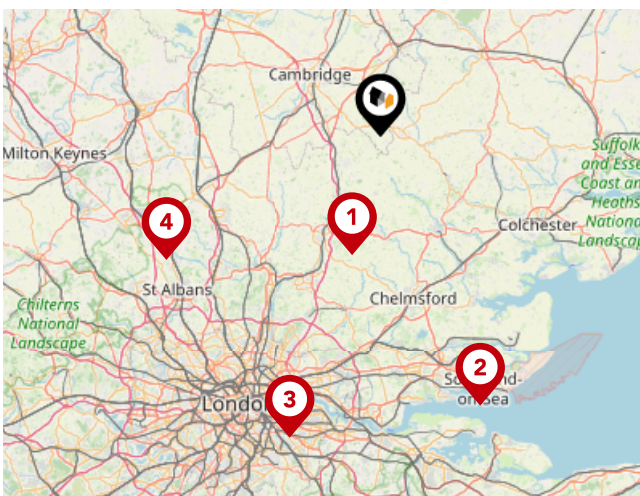
National Rail Stations

Pin	Name	Distance
1	Dullingham Rail Station	4.32 miles
2	Entrance1	7.08 miles
3	Newmarket Rail Station	7.1 miles



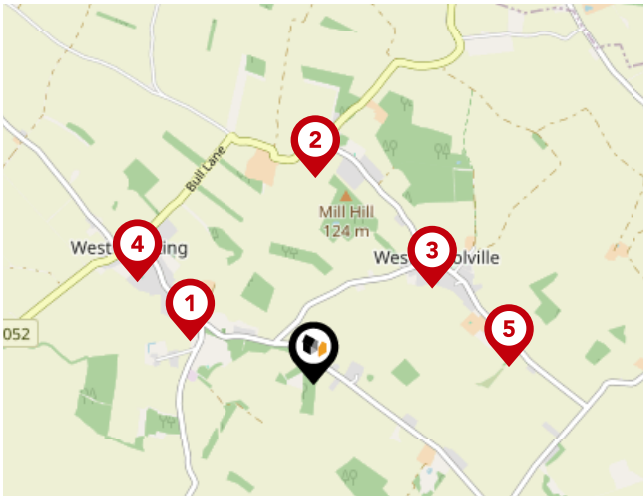
Trunk Roads/Motorways

Pin	Name	Distance
1	M11 J9	9.07 miles
2	M11 J10	9.88 miles
3	M11 J11	11.04 miles
4	M11 J12	12.66 miles
5	M11 J13	13.04 miles



Airports/Helipads

Pin	Name	Distance
1	Stansted Airport	17.78 miles
2	Southend-on-Sea	42.07 miles
3	Silvertown	45.94 miles
4	Luton Airport	36.15 miles



Bus Stops/Stations

Pin	Name	Distance
1	Spicer's Close	0.6 miles
2	Mill Hill	0.94 miles
3	Chapel Road	0.69 miles
4	Bull Lane	0.93 miles
5	Common Road	0.9 miles



Cooke Curtis & Co

We are small enough that we are able to care for each client personally, but large enough to provide exceptional marketing that achieves the best possible price in the least possible time.

We are a responsible business. We aim to be a low carbon company, to operate ethically and to be valuable members of the Cambridge community.

We are experienced in all aspects of residential property, including sales and lettings, planning, development and buy-to-let.

We are interested in you. We see Estate Agency as being as much about people as property. Our job is to work for you, to help you achieve the best possible outcome in your particular situation.

Testimonial 1



Great service from Cooke Curtis & co. We used them for the sale of our home as they were the agents for a property we wanted to buy. They quickly valued, took photos and put it on the market with viewings soon after. Them handling both sides of the deal was a huge help with one complexity of the epic process of house purchasing removed. The agents were particularly calm, reasonable and responsive by email and telephone. Thanks you!

Testimonial 2



Since purchasing our house from Cooke Curtis and Co in 2017, we knew that if ever we were to sell, it would be with them. Of the various estate agents we asked to value the property, Cooke Curtis and Co were the *only* company that didn't need chasing and returned our calls promptly, and kept us up-to-date on progress of the sale. I have no hesitation in recommending Cooke Curtis and Co, as indeed I have done to friends thinking of selling in the area.

Testimonial 3



Being from Cambridge we have rented, bought and sold through many different estate agents over the years, and I can safely say that Cooke Curtis & Co have been by far the best we have come across. After failing to sell our house with another agent, we made the switch and didn't regret our decision. Cooke Curtis & Co clearly care about their reputation and make sure to look after their clients. We found the team to be trustworthy, professional and reliable.

Testimonial 4



We bought a property sold by Cooke Curtis and Co. They were helpful and responded swiftly to our enquiries. It seems buying a house always takes a long time but I got the impression the estate agents did all they could to speed things along. Very happy.



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Cooke Curtis & Co

Data Quality

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